

INVITATION FOR BIDS

IFB-2018-03

The County of Sussex, Virginia is hereby soliciting written sealed bids from licensed and insured general contractors to perform one housing rehabilitation and two substantial housing rehabilitation improvements on houses located in the Pocahontas Neighborhood Improvement Project Grant area of Sussex County, VA. The funds used to rehabilitate this home are provided via a Federal Community Improvement Grant / Community Development Block Grant (CDBG) program funds as administrated by the Virginia Department of Housing and Community Development ("VDHCD").

The project includes two Substantial Housing Rehabilitations:

Address: 101 Knight Street, Wakefield, VA 23888

Address: 606 Twilight Street, Wakefield, VA 23888

The project includes one Housing Rehabilitation:

Address: 119 Twilight Street, Wakefield, VA 23888

There will be a mandatory pre-bid conference conducted by Dennis LeBlanc at the Sussex County Housing Department located at 10248 General Mahone Hwy, Wakefield, VA 23888, at **10:00 A.M. on Tuesday, November 27, 2018** to review the scope of work and homes included in this project. Contractor may send an authorized agent to represent their firm.

The County of Sussex, VA will be accepting written sealed bids for this project until 2:00 P.M. on Friday, December 7th, at which time the submitted bids shall be publicly opened, read aloud and recorded. **No faxed or e-mailed bids will be accepted.** Bidding contractor shall submit their fully executed and signed sealed bid form and itemized work write-up, to the attention of:

Mrs. Shilton R. Butts
Assistant to the County Administrator
20135 Princeton Road (Physical Address)
P.O. Box 1397 (Mailing Address)
Sussex, Virginia 23884

Contractor must submit a copy of the following items with the bid package: Contractor Qualification Form, contractor's license, certificate of insurance, and Lead-Safe Work Practices (LSWP) and EPA Renovation, Repair and Painting certifications with bid package. Questions concerning the bid specifications may be directed to Dennis LeBlanc – Housing Rehabilitation Specialist for American Housing Specialist at 804-247-4754 or email: dlup2code@aol.com

NOTE: Any bids received after 2:00 P.M. on December 7th will be rejected. All bidders are welcome to attend bid openings. A bidder may withdraw his bid from consideration if the price of the bid was substantially lower than the other bids due solely to a mistake therein, provided the bid was submitted in good faith, and the mistake was a clerical mistake as opposed to a judgement mistake, and was actually due to an unintentional arithmetic error or an unintentional omission can clearly be clearly shown by objective evidence drawn from inspection of original work papers, documents and materials used in the preparation of the bid sought to be withdrawn. Withdrawal of bids shall be according to procedure (i) of Section 11-54 of the Virginia Public Procurement Act.

The bidder shall give notice in writing of his claim of right to withdraw his bid within two business days after the conclusion of the bid opening procedure and shall submit original work papers with such notice. No bid may be withdrawn under this section when the result would be the awarding of the contract on another bid of the same bidder or another bidder in which the ownership of the withdrawing bidder is more than five percent. If a bid is withdrawn under the authority of this section, the lowest remaining bid shall be deemed to be the low bid. No bidder who is permitted to withdraw a bid shall, for compensation, supply any material or labor to or perform any subcontract or other work agreement for the person or firm to whom the contract is awarded or otherwise benefit, directly or indirectly, from the performance of the project for which the withdrawn bid was submitted.

Contract is to be awarded on a lump sum basis. Contract documents, including Instructions for Bidders, drawings and specifications will be distributed at the pre-bid conference or may be examined at the following location: Sussex County Administration Office, 20135 Princeton Road, Sussex, VA 23884.

The bidder will guarantee his bid for sixty (60) days after bid opening.

The qualifications of bidders will be required as detailed in the Instructions to Bidders.

This is a federally assisted project. Bidders and contractors performing work under this advertisement are bound by the requirements of Section 3 of the Housing and Urban Development Act of 1968 and the President's Executive Order No. 11246, Federal Labor Standards, Section 109, Public Law 100-202. The bidder's attention is called to the Equal Opportunity Clause and the goals and timetables for minority and female participation in each trade and to the fact that not less than minimum wages are set forth in the contract documents must be paid.

NOTE: The County of Sussex, VA reserves the right to reject any and all bids.

Contractor Name: _____

Contractor Signature: _____

Date: _____

INSTRUCTIONS FOR BIDDERS

1. Addenda and Interpretations

No oral interpretations will be made to any bidder as to Specifications or any other part of the Contract Documents. Every request for such an interpretation shall be made in writing and addressed to Dennis LeBlanc at dlop2code@aol.com. Each request must be received at least seven (7) days prior to the fixed date for opening bids. Every interpretation made to a Bidder will be in bid form of an addendum to the Contract Documents, and when issued, will be on file in the office of Sussex County Administration at least five (5) days before bids are opened. All addenda will be mailed/ faxed to each person receiving project Documents, but it shall be the Bidder's responsibility to make inquiry as to the addenda issued. All such Addenda shall become part of the contract and all Bidders shall be bound by such Addenda, whether or not received by Bidders.

2. Inspection of Site and Conditions of Work

Contractors who wish to bid must attend the Pre-Bid Conference and visit the job site to evaluate the work to be completed. Bidders should thoroughly examine the Drawings and Specifications and all other Contract Documents. Claims, as a result of failure to do so, will not be considered.

3. Time for Completion

All work must be completed within 60 days of signing of the contract documents. Consideration may be given for conditions, which are outside of the control of the Contractor. The terms for completion of all work shall be set forth in the contract. If the Contractor shall fail to complete the Work within the Time for Completion set forth in the Contract, he/she may be subject to damages.

4. Qualifications of Bidders

If not already on file, each Bidder must submit a Contractor Qualification Statement. Qualification forms are available at the Sussex County Administration and should be requested when picking up the bid package. The County of Sussex, VA shall have the right to take such steps as necessary to determine the ability of the Bidder to perform his obligations under the Contract and the Bidder shall furnish the County of Sussex, VA all such information and data indicated on the form. The right is reserved to reject any bid where an investigation of the available evidence or information does not satisfy County of Sussex that the bidder is qualified to carry out properly the terms of the contract.

5. Preparation and Submission of Bids

- a. Bids shall be submitted on the BID FORM, and itemized on WORK WRITE-UPS, which are provided with this package and shall be signed in ink. Erasures or other changes in a Bid must be explained or noted over the signature of the Bidder. Bids containing any conditions, omissions, unexplained erasures, alterations, or items not called for in the Invitation to Bid, or irregularities of any kind, may be rejected by the County of Sussex, VA as being incomplete. The entire bid package must be turned in.
- b. Each bid must give the full business address of the Bidder and be signed by him/her with the usual signature. Bids by partnerships must furnish the full name of all partners and must be signed in the

partnership name by one of the members of the partnership or an authorized representative, followed by the signature and designation of the person signing. Bids by corporations must be signed with the legal name of the corporation and by the signature and designation of the president, secretary, or other authorized person to bind it in the matter. The name of each person signing shall also be typed or printed below the signature. A bid by a person who affixed to his/her signature the word "President", "Secretary", "Agent", or other designation without disclosing his/her principal, may be held to the Bid of the individual signing. When requested by County of Sussex, satisfying evidence of the authority of the officer signing on behalf of the corporation shall be furnished.

- c. If a contract is \$7,501 or more but less than \$120,000, the bidder is required to be licensed as a "Class B Contractor" by the Department of Professional and Occupational Regulation.
- d. The County of Sussex, VA reserves the right to disqualify any contractor and refuse to accept the Bid of any Bidder who has been convicted, or entered a plea of guilty on nolo contendere in any federal or state court to any charge involving any unlawful, corrupt or collusive practice involving a public contract either federal, state, or local which has been determined in any judicial proceeding to have violated any antitrust bid-rigging or collusive proactive stature in connection with any public contract, or against whom such formal criminal prosecution or other judicial proceeding has been initiated.

6. Withdrawal of Modification of Bids

Bids may be withdrawn or modified by written or telegraphic notice received from Bidders prior to the time fixed for bid receipt.

7. Receipt and Opening of Bids

- a. It is the responsibility of the Bidder to assure that his/her Bid is delivered to the place designated for receipt of bids and prior to the time set for receipt of bids. No Bids received after the time designated for receipt of bids will be considered. Bidders should indicate on the envelope: BID-Pocahontas Neighborhood Improvement.
- b. Bids will be opened at the time and place stated in the Invitation to Bid and their contents made public for the information of Bidders and others interested who may be present wither in person or by representative. The officer or agent of the County of Sussex, VA whose duty it is to open them will decide when the specified time has arrived. No responsibility will be attached to any officer or agent for the premature opening of a Bid not properly addressed and identified.

8. Cancellation, Rejection of Bids, Waiver of Information

The County of Sussex, VA reserves the right to waive information on bids and to cancel or reject any and all bids. Nothing in these instructions should be interpreted to mean that the County of Sussex, VA will accept the lowest bid when such bid is submitted by a contractor that, in the sole opinion of the County of Sussex, VA, is judged to be unable to meet either the quality standards or schedules of the County of Sussex, VA.

9. Award of Contract

Unless canceled by the contractor or otherwise rejected by the County of Sussex, VA, the responsive bid from the lowest responsible Bidder shall be accepted as submitted, except that if the lowest responsive Bid exceeds available funds, the County of Sussex, VA or its designated official may negotiate with the apparent low bidder to obtain a contract within available funds.

The County of Sussex, VA is prohibited from making an award to contractors or approving an award to subcontractors for any contract or subcontract in excess of \$10,000, who are disbarred by the United States Department of Labor, the Department of Housing and Urban Development, or by any agency of the Commonwealth of Virginia, or who are not in compliance with the Federal Equal Employment Opportunity requirements.

Received by:

Contractor Name: _____

Contractor Signature: _____

Date: _____

WORK WRITE-UP / SPECIFICATIONS

OWNER :		DATE: Nov 8, 20187
ADDRESS: 101 Knight St		PAGES: 1 of 12
Wakefield, Virginia		AREA: 960 SF (Heated)
CASE NO.: PIK1C		40 SF (Front porch)
PHONE # : (757) 556-9572		48 SF (Rear porch)

Furnish and install the following items per attached plans, Manufacturers Instructions, STOP - Contractors Handbook and Master Specification Manual, Virginia Uniform Statewide Building CODE (2012 IRC), and Town of Wakefield Zoning Regulations

ABBREVIATIONS: MA=Material Allowance; OC=On Center;

GENERAL SPECIFICATIONS

Build, after demolition of existing dwelling, the home specified in the attached drawings or similar home meeting these specifications, OR a suitable modular home. **THE HOME MUST BE ADA COMPATIBLE FOR 2 PERSONS WITH DISABILITIES.** Contractor shall provide and pay for all labor, materials, equipment, vehicles, dumpsters, tools, subcontractors, insurance, fees etc. to fully expedite and complete the project. Contractor shall maintain DPOR contractor's license and insurance during entire contract period; procure and obtain County Business License prior to executing contract work and Contractor is responsible for adherence to all County soil and erosion control measures to include silt fencing, protection of driveway curbing, and minimization of soil erosion during entire contract period.

\$ 0 01. PERMITS:

Obtain and post all demolition and building permits made visible from the street. Maintain an approved copy of these specifications (including plans) on site at all times. Obtain all plumbing, electrical and mechanical permits; Obtain all required progress and final CODE inspections to include issuance of final "Certificate of Occupancy".
Submit copies of CODE inspections to Dennis LeBlanc or Shaun Smith – Rehab Specialist, prior to credit for work.

\$ _____ 02. SITE PREPARATION:

- \$ _____ a. Furnish and maintain portable toilet in rear yard during construction.
- \$ _____ b. Provide dumpsters and remove all construction debris during entire construction period in a timely manner.
- \$ _____ c. Mow turf of property to 3" height every 2-weeks (or when at 6" height) during construction period.
- \$ _____ d. **Soil study:** Procure licensed soil scientist to test 4 corners of foundation area to determine weight bearing capacity and composition of soil in footing areas. Submit report to Building official.
- \$ _____ e. Locate and identify public water and sewer lines. Maintain these marked areas to prevent vehicle damages to these buried components during construction.

03. DEMOLITION:

\$ _____ GENERAL CONDITIONS: COST OF DEMOLITION IS AN EXCEPTION

- a) Miss Utility:
Contractor shall contact "Miss Utility" buried utility locating service at least 72 hours prior to scheduling excavation work on this project site. Contractor may proceed after receipt of clearance ticket.
- b) Utility removal: Contractor shall contact and have all utilities removed from the dwelling prior to demolition. Owner shall contact LP supplier to disconnect and temporarily cap-off fuel line.
- c) Water and sewer:
Contractor shall fully remove existing water and sewer laterals to dwelling. Cap-off (and identify) sewer line 10' from proposed dwelling site. Install hose bibb w/ vacuum breaker at meter vault for temporary use.
- d) Raze and remove entire frame dwelling to include all remaining household goods to approved sanitary landfill. Work includes excavation and removal of entire foundation to include removal of footings to sanitary landfill in covered vehicles or dumpsters. Contractor to remove all debris, shards of glass etc.in excess of 1 square inch.

e) Site restoration:

Contractor to restore all trenches / ruts on site caused by equipment or vehicles so that all spalled/rut areas are filled with select fill and graded to pre-existing level conditions. Sow-in KY seed with topsoil and straw cover to area of site not in new construction area.

04. FOOTING / FOUNDATION:

- \$ _____ a. Remove organic mat in excavation areas.
Excavate and pour a minimum 8" thick 2500 psi concrete perimeter footings in trenches made minimum 24" wide by 16" deep. Install (2) #4 rebar to all perimeter footing – angle rebar at corner closet to proposed meter base location to be 18" above grade (inside foundation wall) as UFER grounding rod. Excavate and pour (4) 24" square by minimum 8" thick pier footings

Incorporate French drain next to front wall foundation to discharge to day light in rear yard

Lay 8X8X16" CMU perimeter foundation and girder and porch piers with ½" by 18" J-bolts per Code locations embedded in individual concrete filled block cores. Center girder piers shall be grout-filled. Create 32" wide by 26" high crawl access opening on rear. Install automatic-style foundation vents. Use 6" PVC-40 sewer line sleeve and 2' PVC-40 waterline sleeve.

- \$ _____ b. Lay sidewalk from end of ramp to driveway minimum of 48" wide
- \$ _____ c. Treat soil in all excavations for termites. Show proof of service with one (1) year renewable bond.

- \$ _____ d. After foundation inspection, backfill inside perimeter walls using clean screened fill or sand so that interior grade shall be minimum of 2" above final exterior grade. Cover crawl soil with 6 mill black plastic vapor barrier – tape all 12" overlapped seams and extend 12" up sidewalls (tape seams) Use landscaping staples to secure barrier to soil every 10 LF at perimeter and every 75 SF in field. Build crawl access door using p/t 2X6" frame, ¾" CDX plywood panel w/ (2) 3" zinc hinges and hasp lock.

05. **FRAMING / SHEATHING / ROOFING**: Per plans

NOTE: All lumber shall be graded and "approved" per CODE.

NOTE: Protect all wooden materials from rain with 2 mil. plastic while on site.

NOTE: Install solid 2X8" blocking for grab bars

NOTE: Install solid 2x4 blocking for Kitchen wall cabinets.

- \$ _____ a. Install 8" sill sealer to perimeter walls and piers. Install built-up triple pressure-treated ("p/t") 2X8" girder – use 16d nails in rows of 3 every 16" on center. Install p/t 2X8" sill with 2X10" perimeter bands and 2X10" floor joists @ 16" on center. **Use p/t bands at both front and rear porches.** Install p/t 2X4" sole plates with sill sealer for attached shed.

Obtain County inspection. Then install ¾" Advantex or Edgegold T&G subfloor – glued and nailed to floor joists. **Standard OSB subfloor shall not be permitted.**

Build 2X4" by 8'-0" high load-bearing exterior and interior stud walls using single bottom plate, double top plate and vertical 93" studs set 16" on center. Use double 2X8" headers (with ½" foamboard insulation between framing members over all exterior openings) and double 2X6" headers over all interior opening. Install all nailers and blocking. Install 2 sets of double jack studs with adjoining king studs to fully support doubled porch header beams. Install 2X4" blocking for cabinets and 2x8 blocking for grab bar locations.

- \$ _____ b. Install 4' by 8' by 7/16" OSB plywood wall sheathing to all exterior walls to include "Tyvek or approved equal" moisture barrier. Wall sheathing shall be **CS method.** (4" on center for all edges and 8" in field). **Install 12" wide 40 mil. thick rubber flashing on bands at both front porch and rear deck.**

- \$ _____ c. Install pre-engineered 7/12 slope 2X4" gable-style heel roof trusses @ 24" on center with 12" overhangs on front and rear as shown and identified per plans and in strict accordance with truss manufacturers engineered instructions. Work includes all shoring, temporary/permanent bracing, brackets, fasteners and strapping.

Submit Manufacturer' engineered and sealed plans and layout drawings to Building Official when placing truss order. Ensure uniform 12" overhangs on eaves. Protect trusses from warpage using leveled cribbing and 2 mil. plastic covering. Install hurricane ties to all rafters and use Simpson 5-1/4" ledger-locs to mechanically fasten gable end trusses to top plates. Use (6) attic storage trusses with 5/8" OSB to support air handler.

- \$ _____ d. Front porch roof framing:
Build 7/12 slope gable-style roof with trusses or stick built (builder preference) –with 12” soffit eave overhangs. Use H2 rafter ties.
- \$ _____ e. Sealing and caulking:
Use 30-year latex caulk and caulk: bottom plate at floor, joint of double top plates and joints on double studs. Use foam fire-block at all penetrations of plates (electrical, plumbing etc.)
- \$ _____ f. Install 5/8” OSB plywood roof sheathing with H-clips. Maintain uniform 1” overhang.
- \$ _____ g. Install 1X6” “Miratec” fascia boards, 1X4” Miratec rake and cornice boards with vented vinyl soffit and vinyl trim.
- \$ _____ h. Install 2” perimeter drip edge to all eaves and cover all sheathing with 15# feltpaper and 36” wide ice-dam materials along all eaves. Install 30-year architectural fiberglass AR shingles with uniform 5” exposure to cover entire roofs. Install black aluminum flashing at roofs. Install 32’ of vented ridge to top. Provide five (5) year “leak-free” workmanship warranty on roof.
- \$ _____ i. Front Porch framing and trim:
Install double 2X6” bands with 2X6” floor joists at 16” on center. Fasten band to dwelling using approved fasteners. Set vertical p/t 4X4” PVC-sleeved posts to double 2X6” headers with 7/16” spacers. Set posts to CMU pier and headers using approved fasteners. Extend header inside main framing by 3-1/2” and support with jack/king studs. Wrap all 3 sides of header and outside bands with Miratec trimboards. Caulk all gaps using approved caulk for PVC materials. Install PT 5/4” decking boards – screwed to floor joists and off-set spaced minimum of 32” – maximum 64”. **Top of deck shall be flush with front door threshold.**
- \$ _____ j. Gutter system:
Install approx. 92 LF of 5” K-style seamless gutters with clips @ 36” on center to include 4 3x4” downspouts secured to dwelling @ 2 points and set to 4” above (4) concrete splash-blocks.
- \$ _____ 06. 1/12 RAMP and LANDINGS:
Build 1/12 slope 48” wide PT ramp from landing of front porch to ground. Ramps shall consist of p/t 2X6” stringers set 16” on center with 5/4X6” decking boards (screwed to stringers). Landings shall be framed with double p/t 2X6” bands with 2X6” floor joists @ 16” on center with 5/4 X 6” decking boards– screwed to joists. Install p/t posts and 36” railings to match rear p/t porch. Install sanded 2X2” grip rail with ends returned and secured to lacquer-coated brackets – set 48” on center. Wrap bands and stringer with Miratec trim. Note that 3500 psi concrete shall form the beginning 8’ of the 1/12” ramp system

07. SIDING:

- \$ _____ a. Install double five, Dutch lap, "Builders grade" 40-year warranty vinyl siding to include all vinyl trim, accessories, j-channels, starter strips and corners to cover all exterior walls and gable ends. Caulk all gaps using approved 30-year caulk. Set first course to 1" below sills. Work includes use of matching trim blocks for electrical lighting/receptacles and hose bibbs.
- \$ _____ b. Install 4" high ½" wide black metal address numbers and screw in vertical fashion to vertical PVC front post.

08. WINDOWS:

- \$ _____ a. Per plan dimensions, window schedule and locations:
Install double-hung, 1/1, double insulated "new construction" vinyl frame and sash window units with U-Factor being .35 or less and STC being 25 or greater complete with fiberglass screens, shims, sash locks, perimeter insulation/4" wide sealer. Work includes 5/4" by 2" interior window stools w/ wooden trim and 2-1/4" CS casings. Set window top heights equal to 82" above floor.
- \$ _____ b. Shutters: Install colonial-style vinyl shutters to windows on front of home

09. PORCHES:

- \$ _____ a. Install solid vinyl soffit with trim
- \$ _____ b. Front handrail and staircase:
Build staircase made 36" wide complete with p/t 2X12" stringers @ 16" on center, double 2X6" as treads and uniform-height PVC risers. Support stringer ends using p/t 2X6" lumber. Install (2) p/t 4X4" PVC-sleeved end posts. Install PVC handrails. Install aluminum 2" grip rail to one side of rails. On porch, build 36" high p/t handrail using horizontal flat 2x4" top rail, (2) 2X4" horizontal rails and vertical 2x2" pickets – spaced 5" apart. Set bottom rail to decking.
- \$ _____ c. Rear porch: 6 x 8
Build p/t deck using doubled 2X6" bands, 4X4" posts, 2X6 floor joists 16" on center, 5/4" decking boards – screwed to joists. Build railings and 48" wide staircase to match front porch. Use p/t rail system at staircase. 4X4" posts shall not be sleeved. **Top of decking shall be 3-1/2" below rear door threshold.**

10. EXTERIOR DOORS: Per plans,

- \$ _____ a. Install (2) 36" by 80" pre-hung, metal entrance door units with PVC brickmold casings, low-profile thresholds made no more than 3/8" high, to include peephole in front door, perimeter insulation, hinge stops, brushed nickel ("BN") hinges, caulk (all edges including use of 50-year silicone under threshold) and 4" wide sealer wrap. Install "Schalge or approved equal" BN entrance lever locksets and (2) single-keyed deadbolts – all locks keyed alike. Use Fanlight-style for front, 9-lite for rear. **STC ratings of doors shall be 27 or greater.**
- \$ _____ b. Install (2) 80" self-storing 1-1/4" thick white-color aluminum storm doors to both entrance doors to include hardware, wind chains and sweeps. Owner choice of style. (\$160 MA – per door)

11. INSULATION:

- \$ _____ a. Install the following fiberglass insulation:
R-38 ceiling, with baffles, to include being secured to attic hatch panel KF- R-15 to all sidewalls and KF- R19 to floor with wire supports @ 15" on center.
- b. Caulk, seal and cover all plumbing and electrical egress penetrations in thermal barriers and tub trap to include R-5 pipe wrap to supply pipes in exterior wall cavities.

12. INTERIOR DOORS

- \$ _____ a. Install pre-hung 6-panel hardboard hinged interior door units with 2-1/4" CS casings to include shims, approved BN lever locksets and hinged door stops per door schedule.
- b. Frame and install 22/30" by 1/2" BCX plywood attic access door in HALLWAY with 2-1/4" CS casings. Secure R-38 to attic side of panel.

13. INTERIOR TRIM: Per plans,

- \$ _____ a. Install 3-1/4" beaded baseboard to all walls of main dwelling.
- b. Install 12" wire closet shelving or equivalent. Set clothes closet shelving to 65" above floor. Install (4) shelves in Linen closet – spaced 16" on center. Use supporting brackets for those shelves more than 48" long.
- c. Install approved smooth metal clothes dryer duct with vent with hood. Mastic-seal and tape all duct connectors
- d. Install 5-piece bath accessory kit and shower rod with liner and hooks in Bath (\$ 65 MA)
- e. Install 30" mirrored flush mount medicine cabinet over bath vanity. (\$ 65 total MA.
- f. Install #10-ABC fire extinguisher mounted inside sink base cabinet. (\$ 45 MA)
- g. Install (2) vertical 24" metal grab bars at tub with 2 grab bars at toilet set per owner's needs.

- \$ _____ 14. **WALL / CEILING COVERING:**
- a. Glue and screw 5/8" drywall on all ceilings (perpendicular to joists), glue/screw 1/2" drywall on all walls of main dwelling taped and made to smooth, "paint ready" finish. Work includes cornerbeads, nailers, blocking, three coat application of joint compound applied without material defects. Remove all dust prior to painting. Use mildew-resistant drywall in bath and wet-wall of Utility room.
 - b. Install 30" by 24" steel enamel grease shield to wall behind range. Match color of hood and range.
- \$ _____ 15. **APPLIANCES:** Install following "GE or approved equal" Energy-star rated appliances:
- a, 30" electric range with glass in oven door, anti-tip bracket and (\$500 MA)
 - b. 17-18 CF frost-free Energy-star rated refrigerator/freezer with covered fruit and vegetable bins (\$800 MA)
- \$ _____ 16. **KITCHEN CABINETS / COUNTERTOP:** Per plans:
Install "Lowes, Home Depot or approved equal" in-stock pre-finished builders grade of oak or maple wooden base and wall cabinets with stock "formica-style" countertop with all ends capped. Apply 2 coats of stain sealer to underside of protruding lip within 5' of sink. Note that 12" deep wall cabinets shall be **screwed to studs with #10 by 2-1/2" wood screws**. Align base and wall cabinets for true plumb. Use shims to level cabinets. Set wall cabinets to 82" above finished floor. Install toe-kicks and fillers.
SEE CABINET SCHEDULE
- \$ _____ 17. **PAINTING:** Per manufacturer specifications, using "Sherwin-Williams, or approved equal" latex paint:
- a. Prepare, caulk all gaps, prime and paint all exterior doors, jambs, casings, brickmold, exterior trim boards and porch ceilings using approved 15- year latex semi-gloss "House and Trim" paint.
 - b. Prepare smooth and prime all walls, ceiling and trim using latex primer. (**Spray paint with back-roll is acceptable only for prime coat ONLY**) Sand all door edges and wall surfaces prior to and between coats. Vacuum and wipe-down walls between coats. Correct and fill all burrs, nail holes etc.
 - c. Brush and roll top-coat of 10-year interior paint in uniform 3 mil. thick (wet) defect-free fashion to all walls, ceiling and trim.
 - Walls: Washable Flat
 - Ceiling: Flat
 - Trim: Semi-gloss

18. FLOORING:

- \$ _____ a. **Vinyl strip flooring:** (Kitchen, Bath and Utility closet) Install ¼” lauan underlayment and cover with approved glue-down vinyl strip flooring to include transition strips and ½” painted shoe molding. (\$1.80/SF MA)
- \$ _____ b. **Carpet:** Install “Stainmaster or approved equal” 26 ounce low-pile wall-to-wall carpet with 6# pad to all remaining floors. Install metal edging at vinyl floor junctions.(\$ 18/yard carpet MA)

19. HVAC: Per manufacturer instructions and current CODE

\$ _____ Install “Rheem or approved equal” 14 SEER Heat Pump system to include insulated/mastic sealed R-8 ductwork and air handler in attic and attic registers designed (per Manual J, D and S) to heat all rooms to 80 degrees F. when outside air is 10 degree F. and to condition all rooms to 75 degrees F. to when outside air is 95 degrees F. (with 50% RH) (measured 3’ above floor/wall) Work includes supports, insulated and charged refrigerant line, tamper-resistant valves on compressor, low return air filter grille, mechanical and electrical connections, 24VDC day/night programmable thermostat on Hall wall and compressor pad. Fire-block all penetrations. Equipment shall carry minimum 10-year warranty.

\$ _____ 20. **ELECTRICAL** – Per attached pages 9 and 10 (of 12)

\$ _____ 21. **PLUMBING** – Per attached page 10 of 12.

22. SITWORK / GRADING / DRIVEWAY / WALKWAY

\$ _____ a. Perform final (slope) grading to include spreading clean/screened topsoil 15’ from perimeter of dwelling to grade to create 5% slope away from dwelling. Use fill dirt with minimum 1” topsoil cover to fill and fine grade all disturbed/low areas of site. Sow-in KY-31 seed with light straw cover to all Contractor-disturbed / barren areas of property. Promote positive fall away from dwelling.

End. Work Write-up.

20. ELECTRICAL: Per plans and 2012 IRC:

- \$ _____ a. Install "GE or approved equal" 200 amp breaker panel box complete with copper grounding wire connected to UFER grounding rebar with NM wiring and labeled circuit breakers. Panel shall have minimum of 6 spares. Provide and install meter base (with disconnect if required) and entrance cable.
- \$ _____ b. Install the following grounded circuits complete with disconnects, clamps, nail plates, supports, connections, wiring, fixtures and devices:
- (1) 60 amp Air handler
 - (2) 30 amp clothes dryer, water heater
 - (1) 25 amp HVAC compressor – per manufacturer rating
 - (5) 20 amp (4) GFI receptacles on 2 dedicated circuits in Kitchen
(3) outside covered GFI receptacles (one each near entrance doors and another within 8' of HP)
GFI receptacle in bathroom; Clothes washer
 - (5) 15 amp general-purpose tamper-resistant duplex receptacles, refrigerator, lighting, (4) 120 volt in-line smoke detectors with 9V DC back-ups (Hall and Bedrooms) Use arc-fault breakers for smoke detectors and for Bedrooms.
- \$ _____ c. Install the following "Broan or owner-approved equal" UL Listed fixtures and devices. Work includes switches, receptacles, romex wiring, boxes, connections and clamps. Use LED light bulbs, except for range hood. Except kitchen countertops and bathroom, mount all outlets at 18" off floor. All light switches at 42" off floor. (\$750 total – MA)
- Kitchen: (1) 30" ducted 2-speed hood with light (use 40W appliance bulb)
(1) 2-bulb BN ceiling light with 3-way switch
(1) 1-bulb BN pendant light (over sink) with SP switch
 - Living Room: (1) 52-54" ceiling fan with light kit – wire to 3-way switches
 - Attic: (1) 1-bulb ceiling light with SP switch
 - Crawl space: (1) keyless light controlled by SP near access opening
 - Hall Bath: (1) 3-bulb BN light bar over medicine cabinet
(1) 70 CFM (<2 sone) exhaust fan/light on SP switch
 - Bedroom #1: (1) 48" ceiling fan with light kit on SP switch
 - Bedroom #2: (1) 2-bulb BN ceiling light with SP switches
 - Master BR (1) 52-54" Ceiling fan with light kit on SP switch
 - Utility room: (1) 10" LED ceiling light with SP switch
 - Exterior: (2) exterior wall lanterns at entrance doors
(2) 2-head flood light – one to illuminate ramp and rear porch steps with SP switches
- \$ _____ d. Conceal all splices in covered accessible junction boxes; fire-caulk all holes; Use nail guards and rated fan boxes for all Bedroom ceiling fans and lights. Obtain all Rough-in and Final Code inspections prior to credit for work.
Submit all warranties and instruction manuals to Rehab Specialist.
- \$ _____ e. Rough-in dwelling for two phone and (2) CATV jacks per Owners room discretion.

21. PLUMBING SPECIFICATIONS: using CODE-approved materials and methods,

\$ _____ a. **Water heater:** Install "State or approved equal" 50 gallon slim-style electric, water heater with minimum 6-year tank warranty on sanitary-piped overflow pan and TP&R valve with copper piping.

\$ _____ b. **Supply lines:** Install approved plastic 160 PSI 1" water supply line in trench made minimum 18" deep from existing water meter well to water heater. Install 3/4" approved "PEX" plastic water supply lines water heater to clothes washer with 1/2" supply lines to all other fixture locations. Work includes clamps, fittings, accessible cut-off valves at each fixture and 100 psi air test. Install foam insulation pipe wrap to those supply lines inside of exterior wall cavities. Install air hammer arrestors to clothes washer faucets.

\$ _____ c. **FIXTURES:**

Using approved white-color stock fixtures and "Delta or approved equal" BN single-lever faucets, install the following to include 3" PVC - DWV for Full Bath group and 2" DWV for all other locations. Install all p-traps, fittings, drains, connections, nail guard plates, vents raised to 12" above roof and flashed. Bed, and maintain proper slope of lines during rough-in. Install and connect buried (minimum 12" below grade) sewer lateral with clean-out to tie-into existing sewer lateral. Obtain approved air and water test of DWV:

Bathroom:

34X60" 1-piece fiberglass tub/shower unit with anti-scald BN single-lever ("SL") faucet and restrictive-flow hand-held shower head on vertical rod mount (\$ 250 – faucet assembly MA) **NOTE: {Insulate this sidewall with R-15 fiberglass batts and housewrap barrier prior to tub installation}**

22 X 36" wooden vanity base with imitation marble top (\$ 300 total vanity/ top and faucet MA)

Chair-height low-flow elongated bowl china toilet with seat, flange and wax seal

Kitchen:

33" / 22" by 8" deep stainless steel double-bowl sink with approved SL BN faucets with spray (\$120 faucet MA)

Hose Bibbs: Install (2) frost-free hose bibbs with vacuum breakers on front and rear (one each)

Washer box: "Water-tite" or approved equal recessed in wall and set to 38" above floor to include all accessible valves and devices

101 Knight St

DATE: Nov 1, 2018
Page 12 of 12

BID BREAKDOWN SUMMARY SHEET

Owner:
Address: 101 Knight St
Wakefield, Virginia

3Bedroom. 1 Bath. ADA
Nov 8, 2018

BID PRICE	ITEM
\$ _____	01. Permits
\$ _____	02. Site prep
\$ _____	03. Demolition
\$ _____	04. Footing / Foundation
\$ _____	05. Framing / Sheathing / Roofing
\$ _____	06. 1/12 slope ramp with landings
\$ _____	07. Siding
\$ _____	08. Windows
\$ _____	09. Front porch and rear deck
\$ _____	10. Exterior doors
\$ _____	11. Insulation
\$ _____	12. Interior doors
\$ _____	13. Interior trim
\$ _____	14. Wall / ceiling covering
\$ _____	15. Appliances
\$ _____	16. Kitchen cabinets and countertop
\$ _____	17. Painting
\$ _____	18. Flooring
\$ _____	19. HVAC (14 SEER)
\$ _____	20. Electrical and Security System
\$ _____	21. Plumbing
\$ _____	22. Sitework/Grading/ Driveway/Walkway
\$ _____	GRAND TOTAL – ALL ITEMS

I have reviewed the site and all working conditions. Bid prices include all materials, labor, sub-contractors, insurance, taxes, fees, profit / overhead and shall remain valid for ninety (90) days after bid opening date.

Prepared by: _____
General Contractor Firm Name

(SEAL)
Owner/president/partner Signature

Date: _____, 20____

9 BEDROOM, 1 BATH
ADA HOME

REV SHAUN SMITH
434-625-8108
RSHAWN@SMITH.COM

DATE: 11/9/2018

SCALE:

SHEET:



Elevation 1

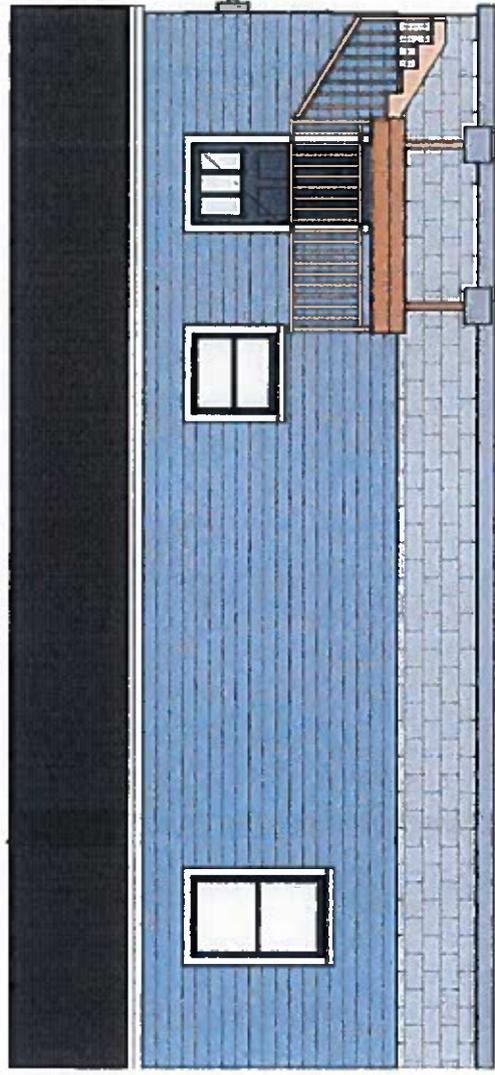
3 BEDROOM 1 BATH
ADA HOME

REV SHAUN SMITH
434-623-8108
RSHAWN@SMITH.COM

DATE:
11/09/2018

SCALE:

SHEET:



Elevation 3

3 BEDROOM, 1 BATH
ADA HOME

REV SHAUN SMITH
454-629-8108
RSHAUNSMITH@GMAIL.COM

DATE:
11/9/2018

SCALE:

SHEET:



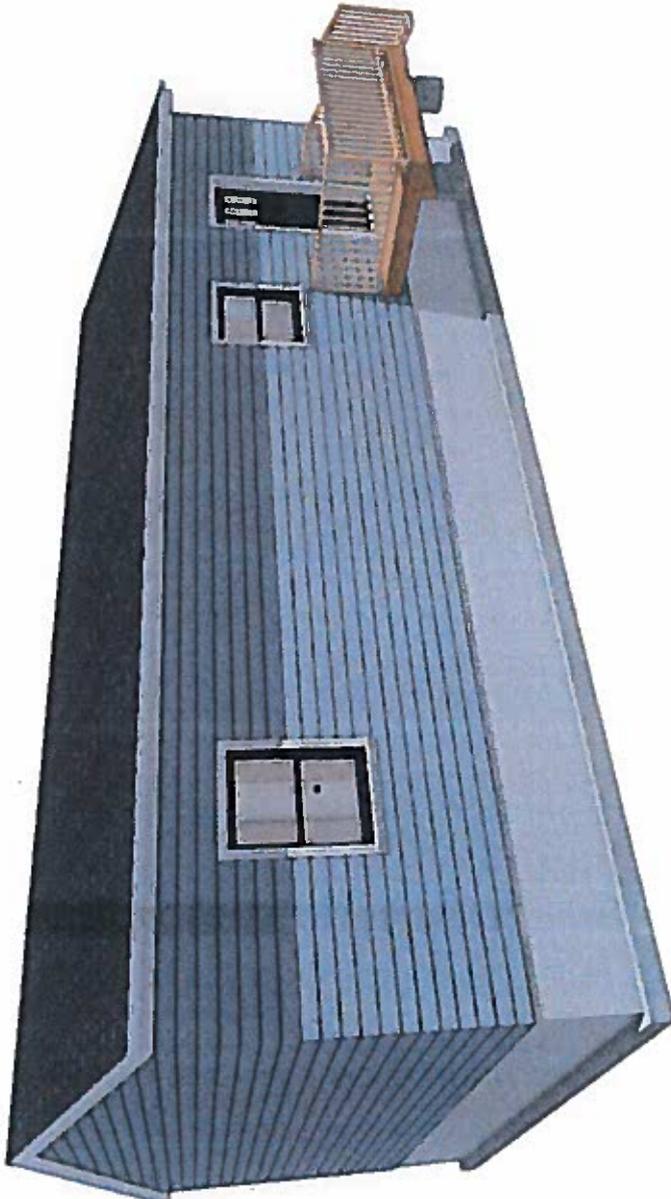
3 BEDROOM, 1 BATH
ADA HOME

REV SHAUN SMITH
434-629-8108
RSHAWN@SHAWN.COM

DATE: 11/01/2018

SCALE:

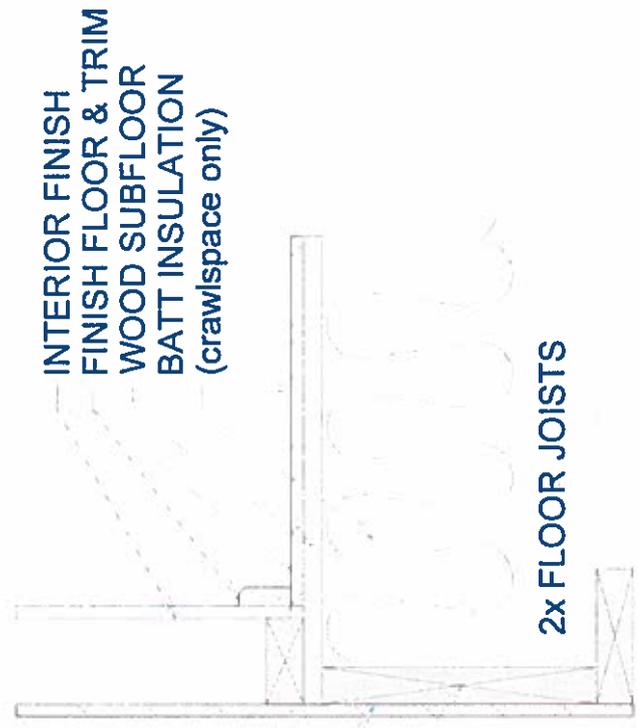
SHEET:



9 BEDROOM 1 BATH
ADA HOME

REV SHAWN SMITH
R34-629-010
RSHAWN@SHAWN.COM

DATE: 11/9/2018
SCALE:
SHEET:



INTERIOR FINISH
FINISH FLOOR & TRIM
WOOD SUBFLOOR
BATT INSULATION
(crawlspace only)

2x FLOOR JOISTS

WEARING SURFACES:
Above Grade = Finish Siding
Below Grade = Moisture Sealant
2x RIM JOIST

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WALL X SECTION

WORK WRITE-UP / SPECIFICATIONS

OWNER :	DATE: Nov 8, 2018
ADDRESS: 606 Twilight	PAGES: 1 of 12
Wakefield, Virginia	AREA: 770 SF (Heated)
CASE NO.: P6T1G	50 SF (Front porch)
PHONE # : 757-556-0716	48 SF (Rear porch)

Furnish and install the following items per attached plans, Manufacturers Instructions, STOP - Contractors Handbook and Master Specification Manual, Virginia Uniform Statewide Building CODE (2012 IRC), and Town of Wakefield Zoning Regulations

ABBREVIATIONS: MA=Material Allowance; OC=On Center;

GENERAL SPECIFICATIONS

Build, after demolition of existing dwelling, the home specified in the attached drawings or similar home meeting these specifications, OR a suitable modular home. Contractor shall provide and pay for all labor, materials, equipment, vehicles, dumpsters, tools, subcontractors, insurance, fees etc. to fully expedite and complete the project. Contractor shall maintain DPOR contractor's license and insurance during entire contract period; procure and obtain County Business License prior to executing contract work and Contractor is responsible for adherence to all County soil and erosion control measures to include silt fencing, protection of driveway curbing, and minimization of soil erosion during entire contract period.

\$ 0 01. PERMITS:

Obtain and post all demolition and building permits made visible from the street. Maintain an approved copy of these specifications (including plans) on site at all times. Obtain all plumbing, electrical and mechanical permits; Obtain all required progress and final CODE inspections to include issuance of final "Certificate of Occupancy".

Submit copies of CODE inspections to Dennis LeBlanc or Shaun Smith – Rehab Specialist, prior to credit for work.

\$ _____ 02. SITE PREPARATION:

- \$ _____ a. Furnish and maintain portable toilet in rear yard during construction.
- \$ _____ b. Provide dumpsters and remove all construction debris during entire construction period in a timely manner.
- \$ _____ c. Mow turf of property to 3" height every 2-weeks (or when at 6" height) during construction period.
- \$ _____ d. **Soil study:** Procure licensed soil scientist to test 4 corners of foundation area to determine weight bearing capacity and composition of soil in footing areas. Submit report to Building official.
- \$ _____ e. Locate and identify public water and sewer lines. Maintain these marked areas to prevent vehicle damages to these buried components during construction.

03. **DEMOLITION:**

\$ _____ **GENERAL CONDITIONS: COST OF DEMOLITION IS AN EXCEPTION**

- a) **Miss Utility:**
Contractor shall contact "Miss Utility" buried utility locating service at least 72 hours prior to scheduling excavation work on this project site. Contractor may proceed after receipt of clearance ticket.
- b) **Utility removal:** Contractor shall contact and have all utilities removed from the dwelling prior to demolition. Owner shall contact LP supplier to disconnect and temporarily cap-off fuel line.
- c) **Water and sewer:**
Contractor shall fully remove existing water and sewer laterals to dwelling. Cap-off (and identify) sewer line 10' from proposed dwelling site. Install hose bibb w/ vacuum breaker at meter vault for temporary use.
- d) Raze and remove entire frame dwelling to include all remaining household goods to approved sanitary landfill. Work includes excavation and removal of entire foundation to include removal of footings to sanitary landfill in covered vehicles or dumpsters. Contractor to remove all debris, shards of glass etc.in excess of 1 square inch.

e) **Site restoration:**

Contractor to restore all trenches / ruts on site caused by equipment or vehicles so that all spalled/rut areas are filled with select fill and graded to pre-existing level conditions. Sow-in KY seed with topsoil and straw cover to area of site not in new construction area.

04. **FOOTING / FOUNDATION:**

- \$ _____ a. Remove organic mat in excavation areas.
Excavate and pour a minimum 8" thick 2500 psi concrete perimeter footings in trenches made minimum 24" wide by 16" deep. Install (2) #4 rebar to all perimeter footing – angle rebar at corner closet to proposed meter base location to be 18" above grade (inside foundation wall) as UFER grounding rod. Excavate and pour (4) 24" square by minimum 8" thick pier footings

Lay 8X8X16" CMU perimeter foundation and girder and porch piers with ½" by 18" J-bolts per Code locations embedded in individual concrete filled block cores. Center girder piers shall be grout-filled. Create 32" wide by 26" high crawl access opening on rear. Install automatic-style foundation vents. Use 6" PVC-40 sewer line sleeve and 2' PVC-40 waterline sleeve.

- \$ _____ b. Lay sidewalk from end of ramp to driveway minimum of 48" wide
- \$ _____ c. Treat soil in all excavations for termites. Show proof of service with one (1) year renewable bond.

606 Twilight, Pocahontas

- \$ _____ d. After foundation inspection, backfill inside perimeter walls using clean screened fill or sand so that interior grade shall be minimum of 2" above final exterior grade. Cover crawl soil with 6 mill black plastic vapor barrier – tape all 12" overlapped seams and extend 12" up sidewalls (tape seams) Use landscaping staples to secure barrier to soil every 10 LF at perimeter and every 75 SF in field. Build crawl access door using p/t 2X6" frame, ¾" CDX plywood panel w/ (2) 3" zinc hinges and hasp lock.

05. **FRAMING / SHEATHING / ROOFING**: Per plans

NOTE: All lumber shall be graded and "approved" per CODE.

NOTE: Protect all wooden materials from rain with 2 mill. plastic while on site.

NOTE: Install solid 2x4 blocking for Kitchen wall cabinets.

- \$ _____ a. Install 8" sill sealer to perimeter walls and piers. Install built-up triple pressure-treated ("p/t") 2X8" girder – use 16d nails in rows of 3 every 16" on center. Install p/t 2X8" sill with 2X10" perimeter bands and 2X10" floor joists @ 16" on center. **Use p/t bands at both front and rear porches.** Install p/t 2X4" sole plates with sill sealer for attached shed.

Obtain County inspection. Then install ¾" Advantex or Edgegold T&G subfloor – glued and nailed to floor joists. **Standard OSB subfloor shall not be permitted.**

Build 2X4" by 8'-0" high load-bearing exterior and interior stud walls using single bottom plate, double top plate and vertical 93" studs set 16" on center. Use double 2X8" headers (with ½" foamboard insulation between framing members over all exterior openings) and double 2X6" headers over all interior opening. Install all nailers and blocking. Install 2 sets of double jack studs with adjoining king studs to fully support doubled porch header beams. Install 2X4" blocking for cabinets and 2x8 blocking for grab bar locations.

- \$ _____ b. Install 4' by 8' by 7/16" OSB plywood wall sheathing to all exterior walls to include "Tyvek or approved equal" moisture barrier. Wall sheathing shall be **CS method.** (4" on center for all edges and 8" in field). **Install 12" wide 40 mil. thick rubber flashing on bands at both front porch and rear deck.**

- \$ _____ c. Install pre-engineered 7/12 slope 2X4" gable-style heel roof trusses @ 24" on center with 12" overhangs on front and rear as shown and identified per plans and in strict accordance with truss manufacturers engineered instructions. Work includes all shoring, temporary/permanent bracing, brackets, fasteners and strapping.

Submit Manufacturer' engineered and sealed plans and layout drawings to Building Official when placing truss order. Ensure uniform 12" overhangs on eaves. Protect trusses from warpage using leveled cribbing and 2 mil. plastic covering. Install hurricane ties to all rafters and use Simpson 5-1/4" ledger-locs to mechanically fasten gable end trusses to top plates. Use (6) attic storage trusses with 5/8" OSB to support air handler.

606 Twilight, Pocahontas

- \$ _____ d. Front porch roof framing:
Build 7/12 slope gable-style roof with trusses or stick built (builder preference) –with 12” soffit eave overhangs. Use H2 rafter ties.
- \$ _____ e. Sealing and caulking:
Use 30-year latex caulk and caulk: bottom plate at floor, joint of double top plates and joints on double studs. Use foam fire-block at all penetrations of plates (electrical, plumbing etc.)
- \$ _____ f. Install 5/8” OSB plywood roof sheathing with H-clips. Maintain uniform 1” overhang.
- \$ _____ g. Install 1X6” “Miratec” fascia boards, 1X4” Miratec rake and cornice boards with vented vinyl soffit and vinyl trim.
- \$ _____ h. Install 2” perimeter drip edge to all eaves and cover all sheathing with 15# feltpaper and 36” wide ice-dam materials along all eaves. Install 30-year architectural fiberglass AR shingles with uniform 5” exposure to cover entire roofs. Install black aluminum flashing at roofs. Install 32’ of vented ridge to top. Provide five (5) year “leak-free” workmanship warranty on roof.
- \$ _____ i. Front Porch framing and trim:
Install double 2X6” bands with 2X6” floor joists at 16” on center. Fasten band to dwelling using approved fasteners. Set vertical p/t 4X4” PVC-sleeved posts to double 2X6” headers with 7/16” spacers. Set posts to CMU pier and headers using approved fasteners. Extend header inside main framing by 3-1/2” and support with jack/king studs. Wrap all 3 sides of header and outside bands with Miratec trimboards. Caulk all gaps using approved caulk for PVC materials. Install PT 5/4” decking boards – screwed to floor joists and off-set spaced minimum of 32” – maximum 64”. **Top of deck shall be flush with front door threshold.**
- \$ _____ j. Gutter system:
Install approx. 64 LF of 5” K-style seamless gutters with clips @ 36” on center to include 4 3x4” downspouts secured to dwelling @ 2 points and set to 4” above (4) concrete splash-blocks.
- \$ _____ 06. LANDINGS:
Build 1/12 slope 48” wide PT ramp from landing of front porch to ground. Ramps shall consist of p/t 2X6” stringers set 16” on center with 5/4X6” decking boards (screwed to stringers). Landings shall be framed with double p/t 2X6” bands with 2X6” floor joists @ 16” on center with 5/4 X 6” decking boards– screwed to joists. Install p/t posts and 36” railings to match rear p/t porch. Install sanded 2X2” grip rail with ends returned and secured to lacquer-coated brackets – set 48” on center. Wrap bands and stringer with Miratec trim.

606 Twilight, Pocahontas

07. SIDING:

- \$ _____ a. Install double five, Dutch lap, "Builders grade" 40-year warranty vinyl siding to include all vinyl trim, accessories, j-channels, starter strips and corners to cover all exterior walls and gable ends. Caulk all gaps using approved 30-year caulk. Set first course to 1" below sills. Work includes use of matching trim blocks for electrical lighting/receptacles and hose bibbs.
- \$ _____ b. Install 4" high ½" wide black metal address numbers and screw in vertical fashion to vertical PVC front post.

08. WINDOWS:

- \$ _____ a. Per plan dimensions, window schedule and locations:
Install double-hung, 1/1, double insulated "new construction" vinyl frame and sash window units with U-Factor being .35 or less and STC being 25 or greater complete with fiberglass screens, shims, sash locks, perimeter insulation/4" wide sealer. Work includes 5/4" by 2" interior window stools w/ wooden trim and 2-1/4" CS casings. Set window top heights equal to 82" above floor.
- \$ _____ b. Shutters: Install colonial-style vinyl shutters to windows on front of home

09. PORCHES:

- \$ _____ a. Install solid vinyl soffit with trim
- \$ _____ b. Front handrail and staircase:
Build staircase made 36" wide complete with p/t 2X12" stringers @ 16" on center, double 2X6" as treads and uniform-height PVC risers. Support stringer ends using p/t 2X6" lumber. Install (2) p/t 4X4" PVC-sleeved end posts. Install PVC handrails. Install aluminum 2" grip rail to one side of rails. On porch, build 36" high p/t handrail using horizontal flat 2x4" top rail, (2) 2X4" horizontal rails and vertical 2x2" pickets – spaced 5" apart. Set bottom rail to decking.
- \$ _____ c. Rear porch: 6 x 8
Build p/t deck using doubled 2X6" bands, 4X4" posts, 2X6 floor joists 16" on center, 5/4" decking boards – screwed to joists. Build railings and 48" wide staircase to match front porch. Use p/t rail system at staircase. 4X4" posts shall not be sleeved. **Top of decking shall be 3-1/2" below rear door threshold.**

606 Twilight, Pocahontas

10. EXTERIOR DOORS: Per plans,

- \$ _____ a. Install (2) 36" by 80" pre-hung, metal entrance door units with PVC brickmold casings, low-profile thresholds made no more than 3/8" high, to include peephole in front door, perimeter insulation, hinge stops, brushed nickel ("BN") hinges, caulk (all edges including use of 50-year silicone under threshold) and 4" wide sealer wrap. Install "Schalge or approved equal" BN entrance lever locksets and (2) single-keyed deadbolts – all locks keyed alike. Use Fanlight-style for front, 9-lite for rear. **STC ratings of doors shall be 27 or greater.**
- \$ _____ b. Install (2) 80" self-storing 1-1/4" thick white-color aluminum storm doors to both entrance doors to include hardware, wind chains and sweeps. Owner choice of style. (\$160 MA – per door)

11. INSULATION:

- \$ _____ a. Install the following fiberglass insulation:
R-38 ceiling, with baffles, to include being secured to attic hatch panel KF- R-15 to all sidewalls and KF- R19 to floor with wire supports @ 15" on center.
- b. Caulk, seal and cover all plumbing and electrical egress penetrations in thermal barriers and tub trap to include R-5 pipe wrap to supply pipes in exterior wall cavities.

12. INTERIOR DOORS

- \$ _____ a. Install pre-hung 6-panel hardboard hinged interior door units with 2-1/4" CS casings to include shims, approved BN lever locksets and hinged door stops per door schedule.
- b. Frame and install 22/30" by 1/2" BCX plywood **attic access door** in HALLWAY with 2-1/4" CS casings. Secure R-38 to attic side of panel.

13. INTERIOR TRIM: Per plans,

- a. Install 3-1/4" beaded baseboard to all walls of main dwelling.
- b. Install 12" wire closet shelving or equivalent. Set clothes closet shelving to 65" above floor. Install (4) shelves in Linen closet – spaced 16" on center. Use supporting brackets for those shelves more than 48" long.
- c. Install approved smooth metal clothes dryer duct with vent with hood. Mastic-seal and tape all duct connectors
- d. Install 5-piece bath accessory kit and shower rod with liner and hooks in Bath (\$ 65 MA)
- e. Install 30" mirrored flush mount medicine cabinet over bath vanity. (\$ 65 total MA.
- f. Install #10-ABC fire extinguisher mounted inside sink base cabinet. (\$ 45 MA)
- g. Install (2) vertical 24" metal grab bars at tub with 2 grab bars at toilet set per owner's needs.

\$ _____ 14. **WALL / CEILING COVERING:**

- a. Glue and screw 5/8" drywall on all ceilings (perpendicular to joists), glue/screw 1/2" drywall on all walls of main dwelling taped and made to smooth, "paint ready" finish. Work includes cornerbeads, nailers, blocking, three coat application of joint compound applied without material defects. Remove all dust prior to painting. Use mildew-resistant drywall in bath and wet-wall of Utility room.
- b. Install 30" by 24" steel enamel grease shield to wall behind range. Match color of hood and range.

\$ _____ 15. **APPLIANCES:** Install following "GE or approved equal" Energy-star rated appliances:

- a, 30" electric range with glass in oven door, anti-tip bracket and (\$500 MA)
- b. 17-18 CF frost-free Energy-star rated refrigerator/freezer with covered fruit and vegetable bins (\$800 MA)

\$ _____ 16. **KITCHEN CABINETS / COUNTERTOP:** Per plans:

Install "Lowe's, Home Depot or approved equal" in-stock pre-finished builders grade of oak or maple wooden base and wall cabinets with stock "Formica-style" countertop with all ends capped. Apply 2 coats of stain sealer to underside of protruding lip within 5' of sink. Note that 12" deep wall cabinets shall be **screwed to studs with #10 by 2-1/2" wood screws**. Align base and wall cabinets for true plumb. Use shims to level cabinets. Set wall cabinets to 82" above finished floor. Install toe-kicks and fillers.
SEE CABINET SCHEDULE

\$ _____ 17. **PAINTING:** Per manufacturer specifications, using "Sherwin-Williams, or approved equal" latex paint:

- a. Prepare, caulk all gaps, prime and paint all exterior doors, jambs, casings, brickmold, exterior trim boards and porch ceilings using approved 15- year latex semi-gloss "House and Trim" paint.
- b. Prepare smooth and prime all walls, ceiling and trim using latex primer. (**Spray paint with back-roll is acceptable only for prime coat ONLY**) Sand all door edges and wall surfaces prior to and between coats. Vacuum and wipe-down walls between coats. Correct and fill all burrs, nail holes etc.
- c. Brush and roll top-coat of 10-year interior paint in uniform 3 mil. thick (wet) defect-free fashion to all walls, ceiling and trim.
Walls: Washable Flat
Ceiling: Flat
Trim: Semi-gloss

606 Twilight, Pocahontas

18. FLOORING:

- \$ _____ a. **Vinyl strip flooring:** (Kitchen, Bath and Utility closet) Install ¼" lauan underlayment and cover with approved glue-down vinyl strip flooring to include transition strips and ½" painted shoe molding. (\$1.80/SF MA)
- \$ _____ b. **Carpet:** Install "Stainmaster or approved equal" 26 ounce low-pile wall-to-wall carpet with 6# pad to all remaining floors. Install metal edging at vinyl floor junctions.(\$ 18/yard carpet MA)

19. HVAC: Per manufacturer instructions and current CODE

- \$ _____ Install "Rheem or approved equal" 14 SEER Heat Pump system to include insulated/mastic sealed R-8 ductwork and air handler in attic and attic registers designed (per Manual J, D and S) to heat all rooms to 80 degrees F. when outside air is 10 degree F. and to condition all rooms to 75 degrees F. to when outside air is 95 degrees F. (with 50% RH) (measured 3' above floor/wall) Work includes supports, insulated and charged refrigerant line, tamper-resistant valves on compressor, low return air filter grille, mechanical and electrical connections, 24VDC day/night programmable thermostat on Hall wall and compressor pad. Fire-block all penetrations. Equipment shall carry minimum 10-year warranty.

\$ _____ 20. **ELECTRICAL** – Per attached pages 9 of 12

\$ _____ 21. **PLUMBING** – Per attached page 10 of 12.

22. SITEWORK / GRADING / DRIVEWAY / WALKWAY

- \$ _____ a. Perform final (slope) grading to include spreading clean/screened topsoil 15' from perimeter of dwelling to grade to create 5% slope away from dwelling. Use fill dirt with minimum 1" topsoil cover to fill and fine grade all disturbed/low areas of site. Sow-in KY-31 seed with light straw cover to all Contractor-disturbed / barren areas of property. Promote positive fall away from dwelling.

End. Work Write-up.

606 Twilight, Pocahontas

20. ELECTRICAL: Per plans and 2012 IRC:

- \$ _____ a. Install "GE or approved equal" 200 amp breaker panel box complete with copper grounding wire connected to UFER grounding rebar with NM wiring and labeled circuit breakers. Panel shall have minimum of 6 spares. Provide and install meter base (with disconnect if required) and entrance cable.
- \$ _____ b. Install the following grounded circuits complete with disconnects, clamps, nail plates, supports, connections, wiring, fixtures and devices:
- (1) 60 amp Air handler
 - (2) 30 amp clothes dryer, water heater
 - (1) 25 amp HVAC compressor – per manufacturer rating
 - (5) 20 amp (4) GFI receptacles on 2 dedicated circuits in Kitchen
 - (3) outside covered GFI receptacles (one each near entrance doors and another within 8' of HP)
 - GFI receptacle in bathroom; Clothes washer
 - (5) 15 amp general-purpose tamper-resistant duplex receptacles, refrigerator, lighting, (4) 120 volt in-line smoke detectors with 9V DC back-ups (Hall and Bedrooms) Use arc-fault breakers for smoke detectors and for Bedrooms.
- \$ _____ c. Install the following "Broan or owner-approved equal" UL Listed fixtures and devices. Work includes switches, receptacles, romex wiring, boxes, connections and clamps. Use LED light bulbs, except for range hood. Except kitchen countertops and bathroom, mount all outlets at 18" off floor. All light switches at 42" off floor. (\$750 total – MA)
- Kitchen: (1) 30" ducted 2-speed hood with light (use 40W appliance bulb)
 - (1) 2-bulb BN ceiling light with 3-way switch
 - (1) 1-bulb BN pendant light (over sink) with SP switch
 - Living Room: (1) 52-54" ceiling fan with light kit – wire to 3-way switches
 - Attic: (1) 1-bulb ceiling light with SP switch
 - Crawl space: (1) keyless light controlled by SP near access opening
 - Hall Bath: (1) 3-bulb BN light bar over medicine cabinet
 - (1) 70 CFM (<2 sone) exhaust fan/light on SP switch
 - Bedroom #1: (1) 48" ceiling fan with light kit on SP switch
 - Bedroom #2: (1) 52-54" Ceiling fan with light kit on SP switch
 - Utility room: (1) 10" LED ceiling light with SP switch
 - Exterior: (2) exterior wall lanterns at entrance doors
 - (2) 2-head flood light – one to illuminate ramp and rear porch steps with SP switches
- \$ _____ d. Conceal all splices in covered accessible junction boxes; fire-caulk all holes; Use nail guards and rated fan boxes for all Bedroom ceiling fans and lights. Obtain all Rough-in and Final Code inspections prior to credit for work.
- Submit all warranties and instruction manuals to Rehab Specialist.**
- \$ _____ e. Rough-in dwelling for two phone and (2) CATV jacks per Owners room discretion.

606 Twilight, Pocahontas

21. PLUMBING SPECIFICATIONS: using CODE-approved materials and methods,

\$ _____ a. **Water heater:** Install "State or approved equal" 40 gallon slim-style electric, water heater with minimum 6-year tank warranty on sanitary-piped overflow pan and TP&R valve with copper piping.

\$ _____ b. **Supply lines:** Install approved plastic 160 PSI 1" water supply line in trench made minimum 18" deep from existing water meter well to water heater. Install ¾" approved "PEX" plastic water supply lines water heater to clothes washer with 1/2" supply lines to all other fixture locations. Work includes clamps, fittings, accessible cut-off valves at each fixture and 100 psi air test. Install foam insulation pipe wrap to those supply lines inside of exterior wall cavities. Install air hammer arrestors to clothes washer faucets.

\$ _____ c. **FIXTURES:**

Using approved white-color stock fixtures and "Delta or approved equal" BN single-lever faucets, install the following to include 3" PVC - DWV for Full Bath group and 2" DWV for all other locations. Install all p-traps, fittings, drains, connections, nail guard plates, vents raised to 12" above roof and flashed. Bed, and maintain proper slope of lines during rough-in. Install and connect buried (minimum 12" below grade) sewer lateral with clean-out to tie-into existing sewer lateral. Obtain approved air and water test of DWV:

Bathroom:

34X60" 1-piece fiberglass tub/shower unit with anti-scald BN single-lever ("SL") faucet and restrictive-flow hand-held shower head on vertical rod mount (\$ 250 – faucet assembly MA) **NOTE: {Insulate this sidewall with R-15 fiberglass batts and housewrap barrier prior to tub installation}**

22 X 36" wooden vanity base with imitation marble top (\$ 300 total vanity/ top and faucet MA)

Chair-height low-flow elongated bowl china toilet with seat, flange and wax seal

Kitchen:

33" / 22" by 8" deep stainless steel double-bowl sink with approved SL BN faucets with spray (\$120 faucet MA)

Hose Bibbs: Install (2) frost-free hose bibbs with vacuum breakers on front and rear (one each)

Washer box: "Water-tite" or approved equal recessed in wall and set to 38" above floor to include all accessible valves and devices

606 Twilight, Pocahontas

BID BREAKDOWN SUMMARY SHEET

Owner:

Address: 606 Twilight
Wakefield, Virginia

2 Bedroom, 1 Bath

Nov 8, 2018

BID PRICE	ITEM
\$ _____	01. Permits
\$ _____	02. Site prep
\$ _____	03. Demolition
\$ _____	04. Footing / Foundation
\$ _____	05. Framing / Sheathing / Roofing
\$ _____	06. 1/12 slope ramp with landings
\$ _____	07. Siding
\$ _____	08. Windows
\$ _____	09. Front porch and rear deck
\$ _____	10. Exterior doors
\$ _____	11. Insulation
\$ _____	12. Interior doors
\$ _____	13. Interior trim
\$ _____	14. Wall / ceiling covering
\$ _____	15. Appliances
\$ _____	16. Kitchen cabinets and countertop
\$ _____	17. Painting
\$ _____	18. Flooring
\$ _____	19. HVAC (14 SEER)
\$ _____	20. Electrical and Security System
\$ _____	21. Plumbing
\$ _____	22. Sitework/Grading/ Driveway/Walkway
\$ _____	GRAND TOTAL – ALL ITEMS

I have reviewed the site and all working conditions. Bid prices include all materials, labor, sub-contractors, insurance, taxes, fees, profit / overhead and shall remain valid for ninety (90) days after bid opening date.

Prepared by:

General Contractor Firm Name

_____ (SEAL)

Owner/president/partner Signature

Date:

_____, 20____

GENERAL NOTES: BID SPECIFICATION SHEET SUPERCEDES THESE NOTES FOR BID PURPOSES

Footings
 16" deep 12" x 24" 2500psi concrete solid pour exterior and 12" x 30" x 30" interior pier supports
 Exterior: two #4 continuous exterior and four squared pier supports supported by metal chairs

Tie downs: 1/2" hot dipped galvanized threaded rod w/ 90 degree ell wrapped under rebar; 6' o/c and within 1' of ends. It may not be possible to install a threaded rod within one foot of the corners--the block installers will have to set these rods

Foundation:
 8" x 8" x 16" CMU
 In wall vents as required per code
 Flood gates as required per code

Floor Framing System
 Mud Plate 2x8 treated when contact w/ CMU
 Drop beam triple 2x8
 Solid band

Floor Joist 2x10 16" o/c
 Double floor joist under parallel walls
 4x8 Advantek (T&G) nailed and glued

Exterior Wall System 2x4 studs 16" o/c
 Double top plate
 R13 Insulation
 Headers to code
Sheathing: 7/16" OSB run horizontal w/3D seam nailing pattern using 2 3/8" galv. ring shank
 Vapor Barrier
 Vinyl siding

Windows and Doors
 double-hung, 1/1, double insulated "new construction" vinyl frame and sash window units with U-Factor being .35 or less and STC being 25 or greater complete with fiberglass screens, shims, sash locks, perimeter insulation/4" wide sealer

Roof System
 Engineered Truss System w/ approved seal, 24" o/c
 Sheathing 5/8 OSB
 Fiberglass Roofing Shingles, 30 year architectural (nailed per wind zone requirements)
 Continuous ridge vent

Interior walls
 2x4 studs
 1/2" drywall
 Paint per client
Ceilings
 5/8" drywall w/ painted smooth finish (ceiling white)

Flooring
 Bathroom, Kitchen, and utility: vinyl
 Remaining: Carpet

Cabinetry
 Manufactured w/ Formica type counter tops

Electrical System
 200 amp main service, UFER Ground to bond footing steel to ground to panel +2 ground rods
 Ceiling fans in all bed and living rooms
 Vent fan lite in bath
 Outlets 18 inches off floor

Plumbing System
 PEX supply lines
 Waste: PVC
 Water Heater: Electric 40 gal

HVAC System
 Gas or electric system per owner's request
 Calculation per Manual "J w Duct work in attic
 Air handler in attic or elevated exterior platform

Porch and Decks
 5/4"x6 Bull nose Treated wood decking w/ 2x2 treated banisters

All construction will be accomplished to confirm with local, state, national and industry standards. This is a "standard building specification listing used by NCCUMC Disaster Response for preconstruction appraisal and may vary by manufacturer or trade name. All materials and products used in this construction will comply with HUD standards and will be installed per manufactures recommendations.

NO. OF SHEETS	1
TOTAL SHEETS	1
DATE	11/9/2018
SCALE	
SHEET	P-1

REVISION TABLE

2 BEDROOM, 1 BATH
 STANDARD PLAN
 PAGE TITLE

DRAWINGS PROVIDED BY
 444 S. 12th St.
 Phoenix, AZ 85004
 602.498.1234
 phoenix@phoenix.com

DATE: 11/9/2018
 SCALE:
 SHEET: P-1

REVISION	DATE	BY	DESCRIPTION

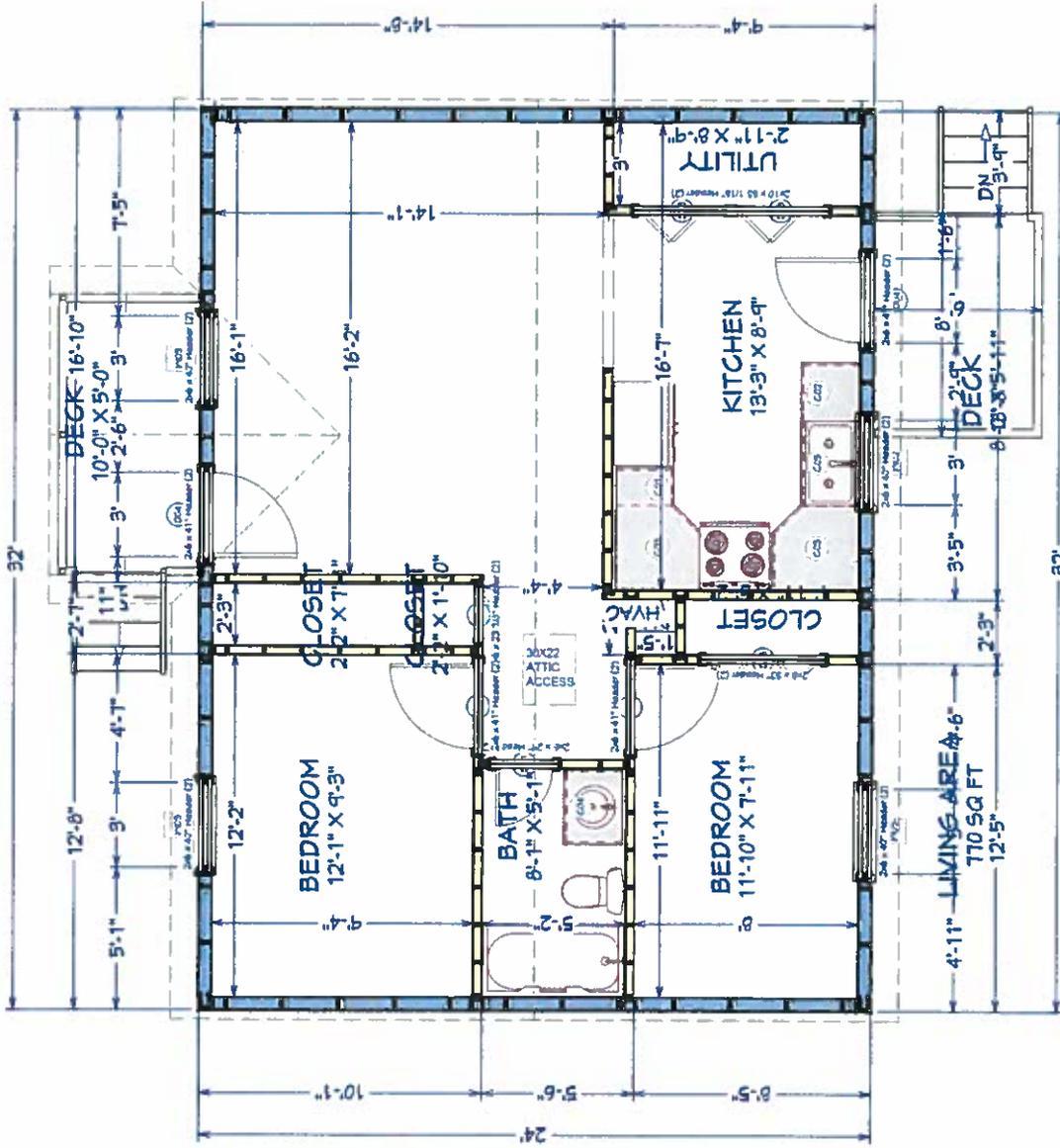
2 BEDROOM 1 BATH
STANDARD PLAN

Drawings Provided by
Key Structural Group
434.625.4108
www.keystructural.com

DATE: 11/9/2018

SCALE:

SHEET:



1st Floor

REVISION TABLE			
NO. OF CHANGES	REVISIONS BY	DATE	DESCRIPTION

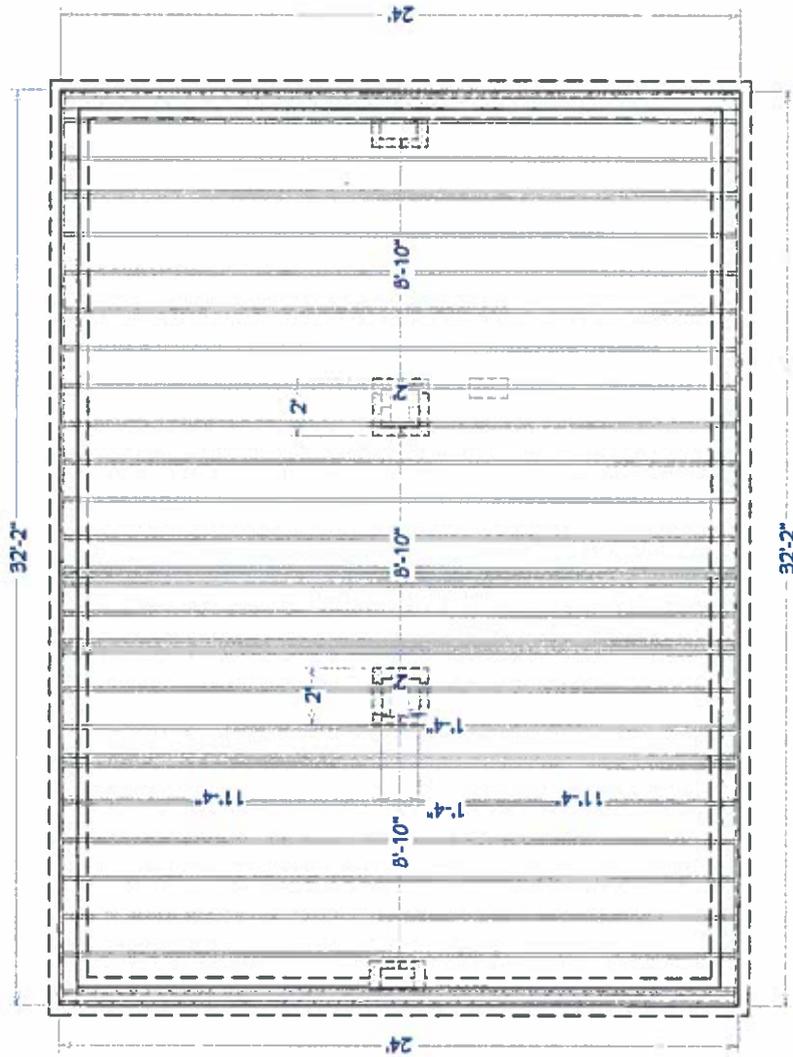
2 BEDROOM BATH
STANDARD PLAN

DRAWINGS PROVIDED BY:
Ray Bryant Smith
454-628-8100
rsmith@raybryantsmith.com

DATE:
11/9/2018

SCALE:

SHEET:



2 BEDROOM FOUNDATION
Foundation

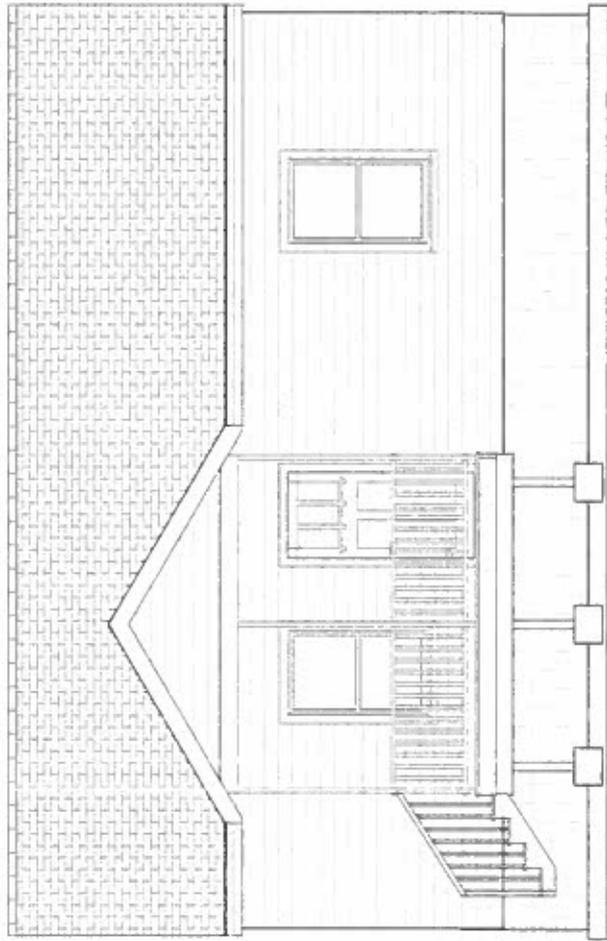
STANDARD PLAN
2 BEDROOM 1 BATH

DRAWINGS PROVIDED BY:
New Dream South
484-225-8108
richard@newdream.com

DATE:
11/9/2018

SCALE:

SHEET:



Elevation 1

REVISION AREA					
NUMBER	DATE	DESCRIPTION			

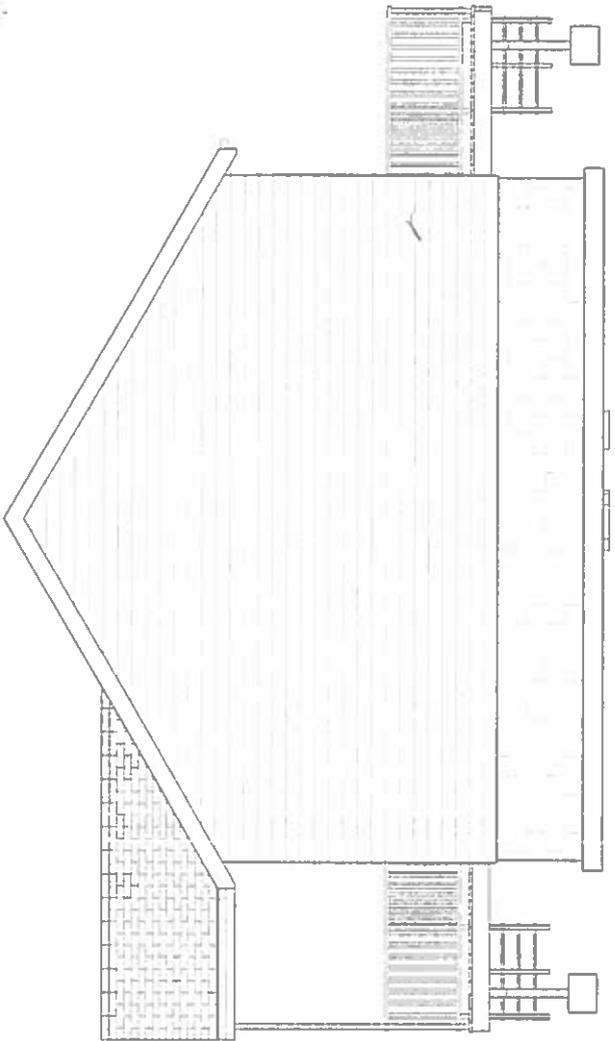
2 BEDROOM, 1 BATH
STANDARD PLAN

DRAWING'S PROVIDED BY:
Ray Shupe Smith
434-232-3138
Rshupe.smith@gmail.com

DATE:
11/9/2018

SCALE:

SHEET:



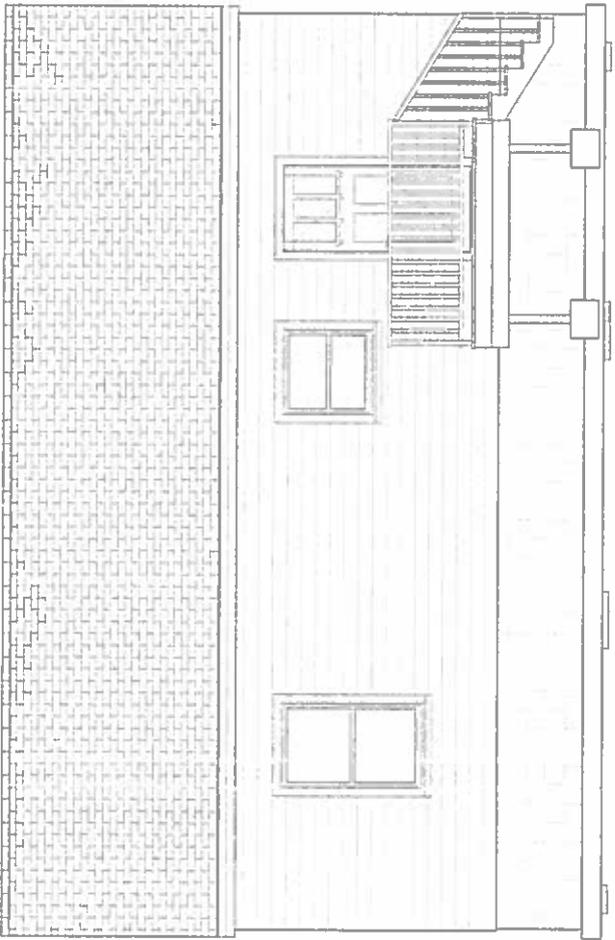
Elevation 2

NO.	DATE	DESCRIPTION

STANDARD PLAN
2 BEDROOM, 1 BATH

DATE: 11/9/2018
SCALE:
SHEET:

DATE: 11/9/2018
SCALE:
SHEET:



Elevation 3

REVISION AREA					
DATE	BY	DESCRIPTION			

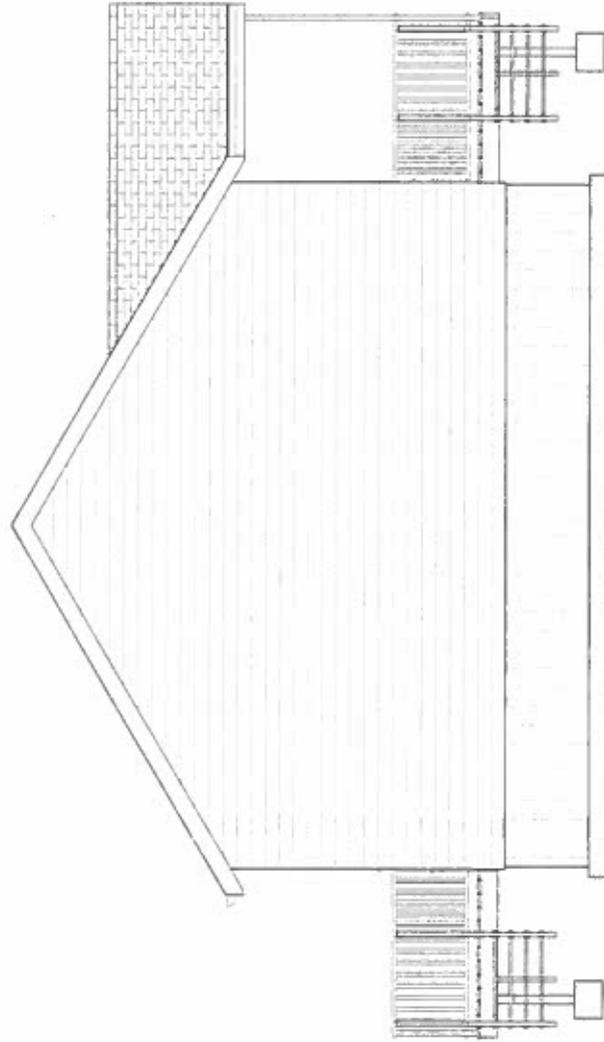
STANDARD PLAN
2 BEDROOM, 1 BATH

DRAWINGS PROVIDED BY
Ray Stewart Smith
434 429 2138
rsmith@rsmid.com

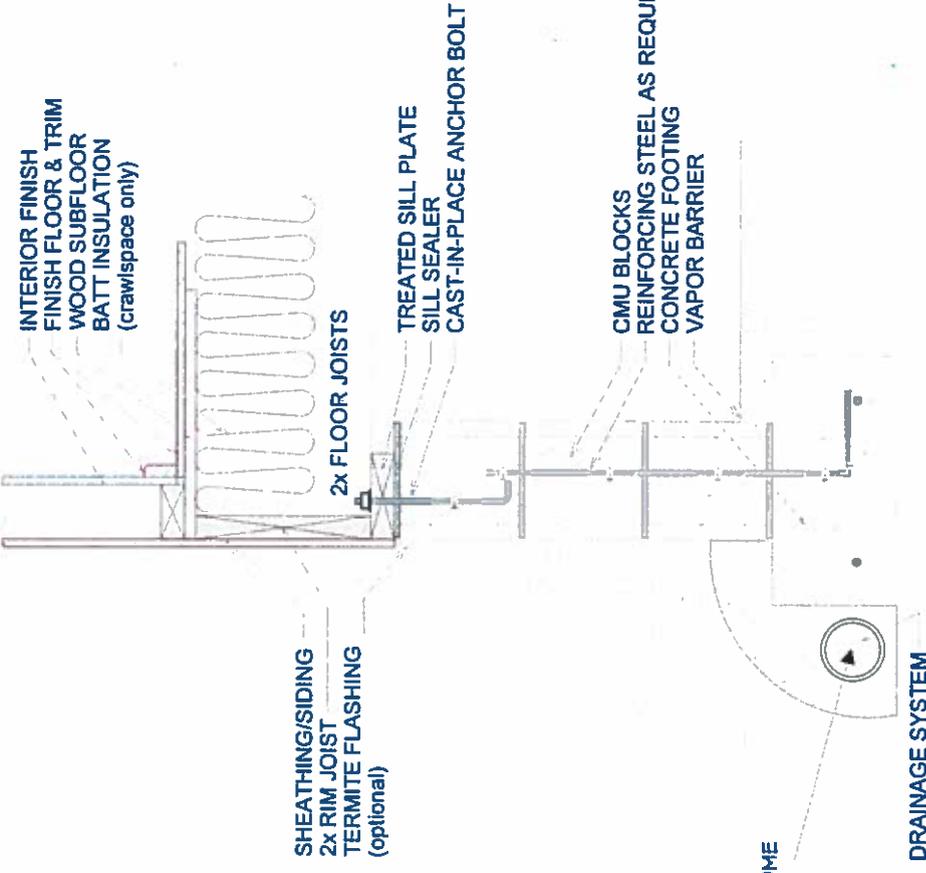
DATE:
11/9/2018

SCALE:

SHEET:



Elevation 4



Typical CMU Crawl Space

(print at 1"=1')

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2 BEDROOM, 1 BATH
STANDARD PLAN

DRAWINGS PROVIDED BY:
Chris Anderson
1044250108
chrisanderson@cmu.com

DATE: 11/9/2018
SCALE:
SHEET:

FOUNDATION WALL DETAILS

**SUSSEX COUNTY
CDBG - HOUSING REHAB PROGRAM**

HOUSING REHABILITATION POCAHONTAS PROJECT

WORK WRITE-UP / SPECIFICATIONS

OWNER NAME : Date: October 25, 2018
ADDRESS : 119 Knight St, Wakefield, VA Page: 1 of 7

Contractor shall furnish and install the following items per the "Contractors Handbook and Master Specification Manual", Manufacturers Instructions, applicable 2012 IRC (Virginia) building CODE, zoning regulations and industry standards:

GENERAL CONDITIONS: (For information only)

- 1) Owners choice of all stock colors and fixtures.
- 2) Relocate all appliances to plan locations.
- 3) Protect household goods and furnishing at all times.
- 4) Home telephone is for only local toll-free business-related purposes.
- 5) All site dimensions are based upon visual front from public way.
- 6) Contractor is responsible for all actual field measurements prior to bidding, ordering materials, cabinets or fixtures.
- 7) Any change in these specifications and resultant schedule shall be approved by the Owner, Contractor, Rehab Specialist, County of Sussex ("County") and Virginia department of Housing and Community Development ("VDHCD") prior to installation and credit.
- 8) All bid items are subject to final clarification and negotiation by County. Contractor bid prices, deemed reasonable by County, shall be the benchmark for all changes in the extent and type of work to be performed.
- 9) **Lead-based paint notice:**
This dwelling was constructed prior to 1978. The contractor shall adhere to HUD/EPA Renovate Right regulations.
- 10) Contractor shall contact "Miss Utility" buried utility locating service at least 96 hours prior to scheduling excavation work on any project site. Contractor may proceed after receipt of clearance ticket.
- 11) **Asbestos:** Property has not been inspected for presence of asbestos. If contractor encounters friable asbestos he is to immediately stop work in that area and contact both the Rehab Specialist and County Building Official. After which, in accordance with Virginia regulations pertaining to asbestos, any verified hazardous asbestos will be abated by licensed asbestos removal company.

119 Knight St., Wakefield

pg. 2 of 9

01. PERMITS:

- \$ _____ a. Obtain and post all building, plumbing, electrical and mechanical permits from County of Sussex Building official at least five (5) days prior to contract start date. Permits shall be made visible from the street. Obtain all interim and final CODE inspections prior to concealment of installed work. Submit copies of inspection records to Rehab Specialist as source documentation for requests for payment. County shall waive permit fees, not the responsibility to obtain permits.

02. MAIN ROOF:

- \$ _____ a. Remove all (approx. 1500 SF) of roofing to expose roof sheathing.
- \$ _____ b. Secure substrate and install approx. 900 SF of 7/16" OSB roof sheathing to entire front section of roof (previous metal roof area)
- \$ _____ c. Replace 32 SF of damaged 7/16" OSB roof sheathing on rear roof area.
- \$ _____ d. Cover entire roof, including both porches, with 15# felt to include ice dam material along all eaves, to include 56 LF of vented drip edges (on original section of dwelling). Install approx. 1630 SF of 30-year architectural shingles per manufacturer instructions to include 5" reveal. Install 40 LF of vent-a-ridge. Replace all plumbing vent collars. Replace (new at porches) all flashing- use .040" aluminum coil stock.

03. PORCH ROOFS

- \$ _____ a. Front: Remove porch roof and supports. Build replacement 4/12 slope roof to match original dimensions (4' by 16') to include use of 2X6" rafters @ 24" on center with 8" overhangs, 7/16" OSB roof sheathing double 2X8" with 7/16" OSB filler beam, (5) PVC-sleeved pressure-treated ("p/t") posts – minimum 7' high- (secured at top using "Simpson BC4 or approved equal" fasteners and "Simpson AB or approved equal" mounting fasteners at post-to-slab connectors, use of "Simpson 3-5/8" long lagbolts or approved equal" to secure 2X8" rafter ledger and 2X6" joist ledgers to dwelling – set into each vertical member – minimum of 20" on center – in staggered formation – 2 each per ends.
Install 7/16" OSB to sidewalls with housewrap and cover with .040" D5 vinyl siding with trim.
Install 2X6" ceiling joists @ 24" on center and install ½" MR drywall – with taped seams and made "paint-ready" to include perimeter 1X2" trim. Install aluminum coil stock to conceal beam and 1X6" fascia - use vented vinyl soffit with trim.

- \$ _____ b. Right-side roof over Kitchen entrance:
Replace 25 SF shed-style roof – match front porch specs.
Use 2 posts.
NOTE: Ceilings shall be minimum of 2” above storm door swing

04. ROOF LINE

- \$ _____ a. Soffits: Install 36 LF of vented vinyl soffits to rear section of dwelling

- \$ _____ b. Gutter system:
Install 110 LF of 5” white-color seamless aluminum gutters with hidden clips @ 36” on center to include (6) 3X4” downspouts with plastic gutter extensions.

- \$ _____ c. Fascia/rake:
Replace all (approx. 30 LF) deteriorated fascia and rake with matching materials and dimensions. Cover all fascia and rake with aluminum coil stock.

05. SIDING

- \$ _____ a. Address numerals:
Install 4” by ½” black address numerals affixed to 1x6” PVC and attach to front wall under wall lantern.

- \$ _____ b. Vinyl siding: Replace 20 SF of damaged vinyl siding – match color and profiles. Replace missing components. Secure all loose siding. Caulk all gaps.

- \$ _____ c. Shutters: Replace (3) pairs of shutters – use vinyl colonial style.

06. WINDOWS:

- \$ _____ a. Remove and install (9) windows using white-color 1/1 vinyl replacement windows to include PVC sills/brickmold casing and drip caps, caulking and sealing. Use existing window dimensions. Windows shall have U-factor of .35 or less and include insect screening. Use tempered sashes in Bathroom.

07. EXTERIOR DOORS

- \$ _____ a. Front and right-side doors:
 Replace locksets using “Kwikset or approved equal” entrance and single-keyed deadbolts – keyed alike to all doors – use lever-style entrance lockset.
 Replace vinyl bulb weatherstripping and door sweep.
 Ensure proper door operation and fit.
 Install peepholes.
 Install white-color, aluminum self-storing storm door with sweep, hardware and wind chain. (\$ 165 material allowance - each)
- \$ _____ b. Rear Hall door: Install locksets to match front door.

08. REAR STOOP:

- \$ _____ a. Remove 112 SF deck.
 Build 6’ by 8’ stoop using pressure-treated (“p/t”) lumber and approved fasteners/screws.
 Install 2X8” by 8’ ledger screwed to house bands using 3-5/8” “Simpson ledgerloc’s” in staggered formation @ 16” on center.
 Use (4) p/t 4X4” posts situated on 12/12/8” concrete pier blocks set minimum 18” below grade with double 2X8” bands, 2X8” by 6’ floor joists @ 16” on center with 5/4X6X8’ **full-length** decking boards screwed to joists. Elevate decking to be 3-1/2” below door sill and install 5/4X4” PVC toeboard to underside of threshold.
- Build 6’ wide staircase with (5) 2X12” stringers, double 2x6” as treads and closed equal-height risers. **Risers shall be maximum 5-1/2” high of equal height – Use PVC board as risers.**
- Install 22 LF of p/t 2X4” railings set to 36” above decking and tread nosing to include p/t 4x4” end posts (suspended 4” in holes made 12” square and deep and encased with concrete to grade level). Use 2X2” vertical pickets screwed to horizontal framing with approved 2-1/2” wood screws – space pickets 3-1/2” apart. Sand top rails. Install sanded 2X2” grip rail with ends returned and secured with (3) lacquer-coated handrail brackets.

09. FOUNDATION, CRAWL and TERMITE TREATMENT:

- \$ _____ a. Crawl door: Install 3/4" CDX door secured on p/t 2X6" frame and two 3" zinc hinges with hasp lock.
- \$ _____ b. Termite treatment: Treat dwelling against termites. Show proof of service from licensed pest control operator with one-year renewable bond.
- \$ _____ c. Replace (4) foundation vents with automatic-style vents.
- \$ _____ d. Remove debris. Uniformly spread 400 SF of 6 mill vapor barrier over soil in crawl. Staple every 10 LF along edges and every 50 SF in field.
- \$ _____ e. Insulation: Insulate wall between original dwelling and addition.
Use spray foam, 2" foam boards and R-15 insulation
- \$ _____ f. Foam seal all annular gaps and spaces through subfloor.

10. EXTERIOR PAINT:

- \$ _____ a. Wet-scrape and prepare exterior door units and jambs.
Prime and paint all entrance doors and plywood access door (all 6 sides) using approved exterior latex paint applied 3 mils wet – 1.5 mils dry.
- b. Wet-scrape and prepare exterior wooden trim, porch ceilings and foundation. Prime and paint surfaces using approved exterior latex paint applied 3 mils wet—1.5 mils dry

11. HVAC:

- \$ _____ a. Mastic-seal joints inside of return chase. Replace air filter and leave (4) more filters for Owner use. Perform annual service check-up of LP furnace in attic – includes gas/air adjustments, cleaning etc.

12. PLUMBING:

- \$ _____ a. Hose bibb: Replace both hose bibbs with frost-free hose bibbs with vacuum breakers.
- \$ _____ b. Drain lines: Ensure all lines are properly hung/supported.
- \$ _____ c. Kitchen sink: Reinstall sink and replace faucet after countertop Replacement. Use delta or approved equal" chrome faucets (\$ 90 fixture allowance)
- \$ _____ d. Tub/shower: Remove shower stall and bathtub. Prepare subfloor and substrate walls to accommodate installation.
Install 2-piece acrylic tub/shower where stall was removed. Work includes removal/cap-off existing drains, all new plumbing connections to the new tub, "Delta or approved equal" chrome tub/shower faucets with hand-held shower head and pop-up diverter, PEX supply lines with accessible cut-off valves.
- \$ _____ e. Toilet: Replace toilet with white, chair-height, elongated bowl toilet with seat, flange , wax seal and feeder line.
- \$ _____ f. Water heater:
Replace water heater in Utility room with "Whirlpool or approved equal" 40 gallon electric water heater set on sanitary-piped overflow pan, full flow cut-off valves and PEX supply to tie-in at bathroom

13. ELECTRICAL:

- \$ _____ a. Smoke detectors: Install (4) 10-year lithium battery smoke detectors to ceilings in Hall and bedrooms.
- \$ _____ b. GFI receptacles: Install 20 amp GFCI breaker for Kitchen counter receptacles and install bath GFI receptacle.
- \$ _____ c. Range hood: install ducted 2-speed with light range hood to include all connections, roof hood and use of fire-foam around all annular gaps. Match color of range.
- \$ _____ d. Bath: Install replacement 3-bulb vanity light (\$ 45 fixture allowance "FA"), wire and install 100 CFM <2.5 sone ceiling fan/light with duct through roof to roof cap- unit shall illuminate tub/toilet area Seal all annular gaps,
- \$ _____ e. Wire and install (7) 15 amp duplex grounded receptacles in Hall and

119 Knight St., Wakefield

pg. 7 of 9

Bedrooms. (bedrooms shall have 1 receptacle per wall)

- \$ _____ f. Lighting: Replace/install (3) wall lanterns; lights in Living, Kitchen, Hall (2), Bedrooms and Utility Room. {\$ 300 total FA}
Use 2-bulb fixtures with LED (60W) bulbs.
- \$ _____ g. Range: replace wiring and receptacle to electric range. Use 50 amp wiring.
- \$ _____ h. Secure all loose wiring in crawl. Install covers – where missing – to accessible junction boxes, replace all existing receptacles and switches to include new covers.
- \$ _____ i. Panel box: Label all circuits. Install additional 8' long ground rod with copper grounding wire to existing rod.
- \$ _____ j. Attic: Install pull chain light and service receptacle near control-side of LP furnace.

14. WEATHERIZATION/INSULATION

- \$ _____ a. Weatherstrip attic hatch.

15. CEILINGS:

- \$ _____ a. Bathroom: Replace drywall ceiling. Use ½" finished drywall made "paint-ready" with perimeter 1X2" molding.
- \$ _____ b. Left-front Bedroom: Remove defective area, apply stain sealer and re-texture to match adjoining areas.
- \$ _____ c. Left-center Bedroom: Replace water-stained area with matching thickness drywall. Tape and prepare entire ceiling for paint.
- \$ _____ d. Prepare, prime and paint all (1000 SF) ceilings using flat white latex ceiling paint applied 3 mil wet – 1.5 mil dry

16. WALLS:

- \$ _____ a. Bathroom: Remove 24" entrance door. Reframe opening and install 36/80" pre-hung 6P door unit with privacy lever lockset.
- \$ _____ b. Bathroom: Remove non-bearing wall next to toilet. Remove wall that separate existing shower from tub/shower. Re-frame to 36" wide in new location and cover with ½" drywall.
- \$ _____ c. Right-rear Bedroom: remove door unit – rehang for proper fit and operation. Replace lockset – use privacy lever lockset.
- \$ _____ d. Left-front Bedroom: Remove arch between Bedroom and Living room. Frame-in 36" pre-hung door to match Bathroom. Install matching paneling to both sides of door. Build net 24" deep by 48" long clothes closet with 24" pre-hung door with passage privacy lockset. Install matching paneling and 12" wire shelf.
- \$ _____ e. Center bedroom: replace locksets with privacy lever locksets.
- \$ _____ f. Utility: replace door with 30" pre-hung 6P door with lever passage lockset. Install jacks.
- \$ _____ g. Grab bars: Install (3) 30" long grab bars – 1 each at head/foot wall of tub and at toilet. Place per Owners reach requirements.
- \$ _____ h. Bathroom: Install medicine cabinet, 5-piece accessory kit, shower rod with liner and hook .
- \$ _____ i. Hand rail: Install wooden 34" high handrailing with ends returned and 2 wall brackets at new hall staircase.

17. FLOORS

- \$ _____ a. Hall: remove the 2 steps from Kitchen to hall elevation. Install (4) low-rise steps with 10" treads.
- \$ _____ b. Remove and dispose of existing carpet in hall; Install new wall-to-wall carpet with 6# pad in hallway – including steps. (\$ 18 / yard – carpet allowance)
- \$ _____ c. Install new sheet vinyl floor covering in bathroom and kitchen: ¼" lauan underlayment, approved vinyl sheet goods and ½" perimeter shoe molding. Install transition strips at all entrances. (\$ 16/yard – vinyl material allowance)

10/25/18

119 Knight St., Wakefield

pg. 9 of 9

119 Knight St., Wakefield

18. KITCHEN:

- \$ _____ a. Replace with new in-stock, pre-finished wooden cabinets- (\$ 1600 cabinet allowance) to include knobs:
1. base cabinets (~8') – use lazy susan in corner, wall cabinets (~7') – use 3018 over range and countertop (~10')
 2. Use post-formed laminated countertop – seal underside of protruding counter lip and install matching end caps.
 3. Install 30X24" steel enamel grease shield to wall behind range – match color of range and hood.

19. INTERIOR PAINT:

- \$ _____ a. Prepare all wooden trim by fill-in divots/holes, wet-sanding surfaces, prime and paint all non-paneled walls and wooden trim using approved interior latex paint applied 3 mils wet – 1.5 mils dry.

End. Work Write-up.

TOTAL BID: \$ _____

By: _____

Date: _____